

PROJECT DIRECTORY

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H&H

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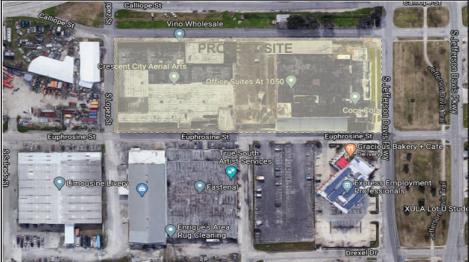
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CPC21	EXTERIOR ELEVATIONS - AREA A
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TOTAL NUMBER OF SHEETS : 22	

UNIT TYPES		
Unit Name	BR/BA	Count
UNIT TYPE A.1	2BR/1BA	22
UNIT TYPE A.2	2BR/1BA	1
UNIT TYPE B.1	1BR/1BA	9
UNIT TYPE B.2	1BR/1BA	4
UNIT TYPE C.1	1BR/1BA	10
UNIT TYPE C.2	1BR/1BA	10
UNIT TYPE D.1	2BR/1BA	6
UNIT TYPE D.2	2BR/1BA	10
UNIT TYPE E	2BR/2BA	1
UNIT TYPE F	3BR/3BA	2
UNIT TYPE G	1BR/1BA	2
UNIT TYPE H	1BR/1BA	2
UNIT TYPE J.1	3BR/1BA	18
UNIT TYPE J.2	3BR/1BA	18
UNIT TYPE J.3	1BR/1BA	18
UNIT TYPE J.4	1BR/1BA	18
UNIT TYPE J.5	1BR/1BA	3
UNIT TYPE K	1BR/1BA	1
UNIT TYPE L.1	2BR/2BA	1
UNIT TYPE L.2	2BR/2BA	1
UNIT TYPE L.3	3BR/3BA	1
UNIT TYPE L.4	2BR/2BA	1
UNIT TYPE M	1BR/1BA	2
UNIT TYPE N	1BR/1BA	2
UNIT TYPE P.1 (ADA)	2BR/2BA	1
UNIT TYPE P.2 (ADA)	2BR/2BA	1
UNIT TYPE P.3 (ADA)	2BR/2BA	1
TOTAL: 215		

LOCATION MAP



BUILDING INFORMATION

PROJECT ADDRESSES:
1050 SOUTH JEFFERSON DAVIS PARKWAY
NEW ORLEANS, LA 70130

PROJECT DESCRIPTION:
CONVERSION OF EXISTING HISTORIC COCA-COLA BOTTLING PLANT AND OFFICES INTO A MIXED-USE DEVELOPMENT INCLUDING COMMERCIAL, OFFICE, AND HOUSING USES. SCOPE ALSO INCLUDES A NEW DRIVEABLE PLAZA THROUGH THE MIDDLE OF THE SITE AND RESURFACING OF EXISTING PARKING LOT ALONG EUPHRASINE STREET.

BUILDING AREA (EXISTING):

AREA A	AREA B	BREEZEWAY (ENCLOSED)
FIRST LEVEL: 47,863 SF	80,961 SF	32,882 SF
SECOND LEVEL: 45,909 SF	2,500 SF	
THIRD LEVEL: 44,492 SF		
GRAND TOTAL EXISTING: 254,371 SF		

BUILDING AREA (NEW WORK):

AREA A (EXISTING 3 LEVEL OFFICE BUILDING)	AREA B (EXISTING WAREHOUSE)
FIRST LEVEL: 47,863 SF	80,724 SF
MEZZANINE: 42,277 SF	21,282 SF
SECOND LEVEL: 45,909 SF	2,534 SF
THIRD LEVEL: 46,830 SF	
GRAND TOTAL: 235,210 SF	

PARKING:
BREEZEWAY
32 SPACES
PARKING LOT 8 (RENDON STREET)
201 SPACES

MAJOR APPLICABLE CODES AND REGULATIONS:
(NOT LIMITED TO THE FOLLOWING)
LIFE SAFETY CODE NFPA 101, 2015 EDITION
BUILDING CODE BC 2015, WITH CITY OF NEW ORLEANS AMENDMENTS
INTERNATIONAL MECHANICAL CODE, 2015 EDITION
NATIONAL ELECTRIC CODE, 2015 EDITION
INTERNATIONAL PLUMBING CODE, 2015 EDITION
INTERNATIONAL FUEL GAS CODE, 2015 EDITION
ANSI/ASHRAE 90.1-2007 (COMPLIANCE WITH COMCHECK)
AMERICANS WITH DISABILITIES ACT ADA-AIA STANDARDS, 2010 EDITION

HAZARD OF CONTENTS (NFPA)
STAIRS
IBC (TABLE 707.3.10) 2 HR

ORDINARY

PLANNED UNIT DEVELOPMENT

LEGAL DESCRIPTION:
ORLEANS PARISH, NEW ORLEANS, LA
FIRST DISTRICT
SQUARE 601, 671, 672

BOUNDING STREETS:
SOUTH JEFFERSON DAVIS PARKWAY, CALLOPSE STREET, S LOPEZ STREET, EUPHRASINE STREET

SITE AREA:
105,492 SF

ALL OF THE SYMBOLS APPEARING ON THIS SHEET MAY NOT NECESSARILY BE USED ON THIS PROJECT. FOR ADDITIONS TO AND/OR DEVIATIONS FROM THESE STANDARDS, REFER TO THE APPLICABLE DISCIPLINE'S WORK THROUGHOUT THE SET OF DRAWINGS.

THESE DRAWINGS AND PROJECT MANUAL HAVE BEEN REVIEWED BY OUR OFFICE AND, TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL CITY REQUIREMENTS. WE SHALL OBSERVE THE WORK.



DRAFTING SYMBOLS

Room Name → ROOM NAME
101 → ROOM NUMBER

2 / 6.2 INDICATES SECTION OR DETAIL NO. 2 APPEARING ON THE SHEET NO. 6.2

WINDOW TYPE / LOUVER TYPE

DOOR OR OPENING NUMBER

FINISH

PARTITION TYPE
SMOKE PARTITION / FIRE RATING (HOURS)
"S" INDICATES SMOKE PARTITION.
PARTITION STC RATING (IF APPLICABLE)

REFERENCE NUMBER FOR EQUIPMENT, CONSTRUCTION, ETC. OR ANY INFORMATION TO BE COVERED WHICH IS REPETITIVE OR AVAILABLE SPACE PROHIBITS A WRITTEN DESCRIPTION (IF ANY ITEM)

ITEM NOT IN CONTRACT / FURNISHED BY OWNER / INSTALLED BY OWNER / INSTALLED UNDER THIS CONTRACT, ETC. (SEE CLARIFICATION OF THIS SYMBOL FOR ITS USE IN REGARD TO THIS PROJECT)

SPECIFICATION REFERENCE (FOUND IN PROJECT MANUAL)

SPECIFICATION REFERENCES ARE INDICATED FOR THE CONTRACTOR'S CONVENIENCE. LACK OF REFERENCE OR MISREFERENCE DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PROVIDE THAT MATERIAL.

NEW OR REQUIRED POINT ELEVATION

EXISTING POINT ELEVATION

NEW OR REQUIRED CONTOURS

EXISTING CONTOURS

TEST BORING

INDICATES CASEWORK WHEN STANDARD SHEET OR PICTORIAL VIEWS ARE USED OR ELEVATIONS OF CASEWORK ARE DRAWN

INDICATES A PARTICULAR TYPE OF EQUIPMENT WHICH REQUIRES SEVERAL DIGITS

INDICATES FOOD SERVICE EQUIPMENT

DIRECTION OF 3D VIEW
SHEET NUMBER ON WHICH 3D VIEW IS LOCATED
3D VIEW NUMBER

DIRECTION OF PHOTOGRAPH
SHEET NUMBER ON WHICH PHOTOGRAPH IS LOCATED
PHOTOGRAPH NUMBER

SECTION OR DETAIL NUMBER

DIRECTION OF CUTTING PLANE

SHEET NUMBER ON WHICH SECTION OR DETAIL IS DRAWN

DIRECTION OF CUTTING PLANE
LONGITUDINAL OR TRANSVERSE
BUILDING SECTION NUMBER
SHEET NUMBER ON WHICH LONGITUDINAL OR TRANSVERSE BUILDING SECTION IS DRAWN

SURFACE SHOWN IN ELEVATION
BUILDING ELEVATION NUMBER
SHEET NUMBER ON WHICH BUILDING ELEVATION IS DRAWN

INTERIOR ELEVATION NUMBER
SURFACE SHOWN IN ELEVATION
SHEET NUMBER ON WHICH ELEVATION IS DRAWN

DETAIL NUMBER
AREA OF DETAIL
SHEET NUMBER ON WHICH ENLARGED DETAIL IS DRAWN

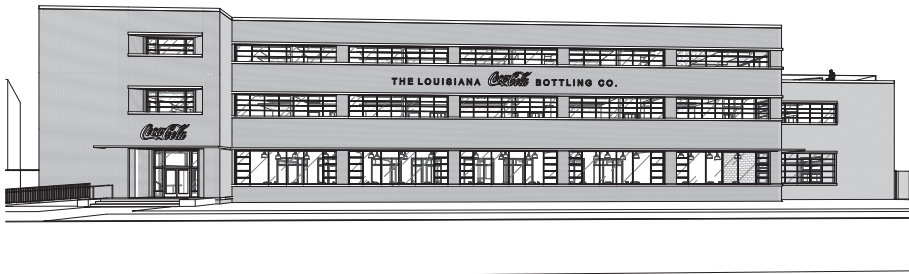
01 DRAWING TITLE
2.1 | N.T.S. | VIEW DESCRIPTION
INDICATES SCALE
SHEET NUMBER ON WHICH THIS SECTION OR DETAIL IS CUT OR REFERENCED (ONE SHEET ONLY)
SECTION OR DETAIL NUMBER

01 DRAWING TITLE
N.T.S. | VIEW DESCRIPTION
INDICATES SCALE
DOOR FRAME DETAIL NUMBER

MATERIALS

	CONCRETE		GLASS IN ELEVATION		WOOD (FINISH)		RESILIENT MATERIAL
	CONCRETE MASONRY UNITS		INSULATION (RIGID)		INSULATION (BATT)		WOOD (ROUGH)
	BRICK		METAL		SOIL, EARTH		
	PLASTER		GROUT		MORTAR		

1050 S JEFFERSON DAVIS PARKWAY (SJD)



CITY PLANNING COMMISSION
CONDITIONAL USE APPLICATION

EskewDumezRipple

365 CANAL STREET, SUITE 3150
NEW ORLEANS, LOUISIANA 70130

SJD

1050 S Jefferson Davis Parkway
New Orleans, LA, 70125

EDR PROJECT NO. | 19058

PROJECT ISSUE DATE | 30 JUNE 2020

CPC SET

NOT FOR CONSTRUCTION

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REVISIONS

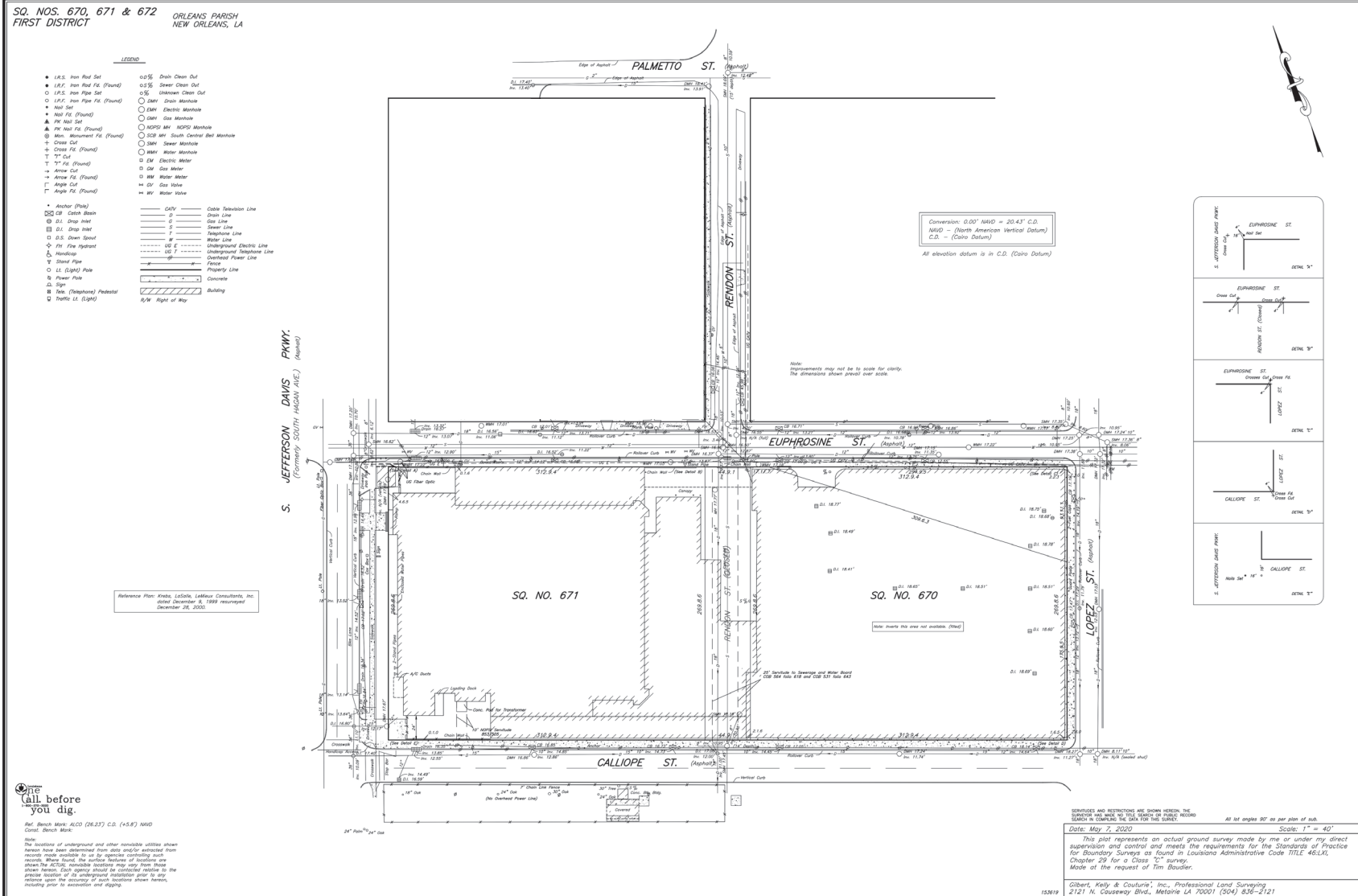
COVER INFORMATION SHEET

DRAWN BY | KATZ

CPC01

GENERAL NOTES

1. THIS SURVEY WAS FURNISHED BY THE OWNER FOR USE ON THIS PROJECT AND WAS NOT PREPARED BY THE ARCHITECT WHO IS THEREFORE NOT RESPONSIBLE FOR ITS CONTENT.
2. WHERE NEW PAVING MEETS EXISTING PAVING, SURFACES SHOULD BE FLUSH WITH A MAXIMUM HEIGHT DIFFERENCE OF 1/4".



SJD

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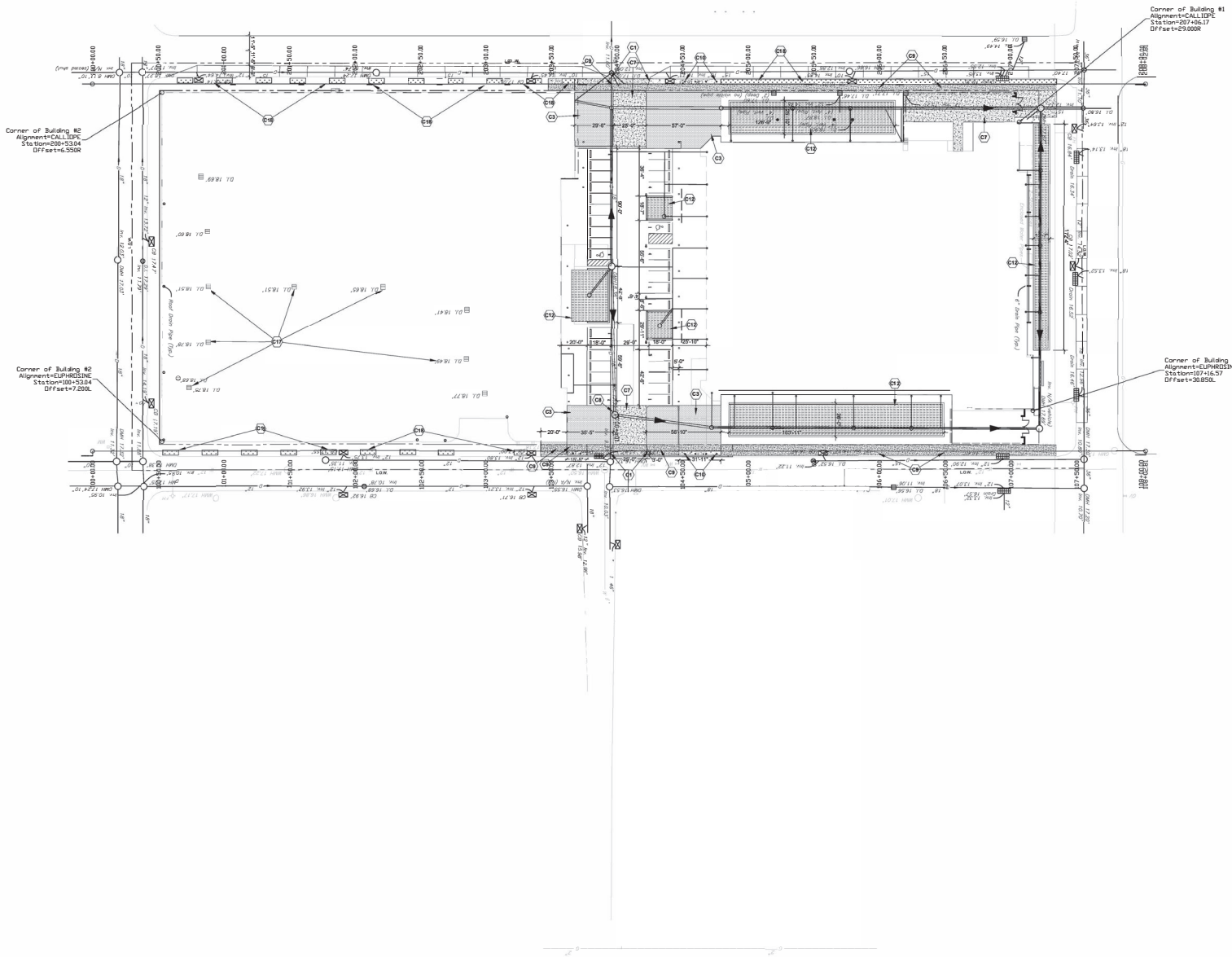
The intent of the Contract Documents is to include all items necessary for proper execution and completion of the work by Contractor. The Contract Documents are complementary, and what is required by one shall be as binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the indicated results.

REVISIONS

SITE SURVEY

DRAWN BY | GKC

CPC02



01 OVERALL CIVIL SITE PLAN

1" = 30'

EskewDumezRipple

365 CANAL STREET, SUITE 3150
NEW ORLEANS, LOUISIANA 70130

Design Engineering, Inc.

3330 WEST ESPLANADE AVE S, STE.205
METAIRIE, LOUISIANA 70002

GENERAL NOTES:

- SUMMARY OF EXISTING PARKING:
PARKING LOT 128
CALLOPE ST 30
S JEFF DAVIS PKWY 10
TOTAL 168
- SUMMARY OF PROPOSED PARKING:
PARKING LOT 184
CALLOPE ST 27
S JEFF DAVIS PKWY 10
BREEZEMAN 32
TOTAL 253
- *INCLUDES THE FOLLOWING ADA PARKING SPACES IN ACCORDANCE WITH CNO DPT ARTICLE 22 AND ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES:
PARKING LOT: 8 ADA SPACES (INCL. 1 VAN ACCESSIBLE)
BREEZEMAN: 2 ADA SPACES (INCL. 1 VAN ACCESSIBLE)
- EXISTING DRAINAGE STRUCTURES TO REMAIN UNLESS OTHERWISE NOTED
- ASPHALT SEALCOAT, PAVEMENT MARKING AND WHEELSTOP TO BE INSTALLED AT EXISTING PARKING LOT
- REFER TO CITY OF NEW ORLEANS DEPARTMENT OF PUBLIC WORKS STANDARD DETAILS FOR FURTHER INFORMATION ON DRIVEWAYS, CURBS, SIDEWALKS AND CATCH BASIN MANHOLE TOPS
- EXISTING SIDEWALKS AND CONCRETE PAVEMENT TO REMAIN UNLESS OTHERWISE NOTED
- EXISTING CURBS TO REMAIN EXCEPT WHERE CURBS IS SIGNIFICANTLY DAMAGED, DAMAGED CURBS TO BE REPLACED IN-AND IN ACCORDANCE WITH CNO DPW STANDARD DETAILS

- C1 MOUNTABLE DRIVEWAY CURB (PER CNO DPW STD. DETAILS, TRANSITION TO MATCH EXISTING MOUNTABLE CURB)
- C2 EXISTING DRIVEWAY TO REMAIN
- C3 DRIVEWAY REFER TO LANDSCAPING (MATCH PARKING LOT ELEVATION AND STREET ELEVATION)
- C4 OVERHEAD POWER POLE & STRIP UPS TO BE RELOCATED
- C5 CATCH BASIN TOP TO BE REPLACED WITH ROLL-OVER BASIN TOP
- C6 SEPT. OUTF. DRAIN BY 18" TRUCK PER CNO DPW STD. DETAILS
- C7 ADJUST EXISTING MANHOLE TOP FLUSH WITH NEW PAVEMENT, ADJUST INVERTS FOR PROPOSED DRAINAGE
- C8 PCOP SIDEWALK (PER CNO DPW STD. DETAILS)
- C9 REMOVABLE STEEL BOLLARDS
- C10 EXISTENTION BASIN (RAIN GARDEN), SEE LANDSCAPING FOR DETAILS
- C13 EXISTING DRAIN INLET TO REMAIN
- C14 INCIDENTAL CONCRETE PAVING 14" THICK, 6% NO. 3 AND 5 W/F, 2" CLASS 1 BASE COURSE
- C15 EXISTING COMPOSTS REFER TO PLUMBING, FIELD VERIFY LOCATION(S)
- C16 EXISTING STORM DRAIN PIPE REFER TO PLUMBING, FIELD VERIFY DIMENSIONS AND LOCATION(S)
- C17 REMOVE EXISTING DRAINAGE STRUCTURES IN BUILDING 8 SLAB REFER TO PLUMBING
- C18 PLANTING, REFER TO LANDSCAPING
- C19 PATCH ASPHALT PRIOR TO SEALCOAT & RESTRIPTING
- C20 OVERFLOW DRAIN INLET
- C21 MANHOLE LACD TO 18" DIA
- C22 EXISTING MANHOLE TO REMAIN, ADJUST INVERTS FOR PROPOSED DRAINAGE



SJD

1050 S Jefferson Davis Parkway
New Orleans, LA, 70125

EDR PROJECT NO. | 19058

PROJECT ISSUE DATE | 30 JUNE 2020

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A Professional Corporation
LICENSEE: B. A. FRENCH
LICENSE NO.: 41139
DESIGN ENGINEERING, INC.
PRELIMINARY - NOT FOR CONSTRUCTION

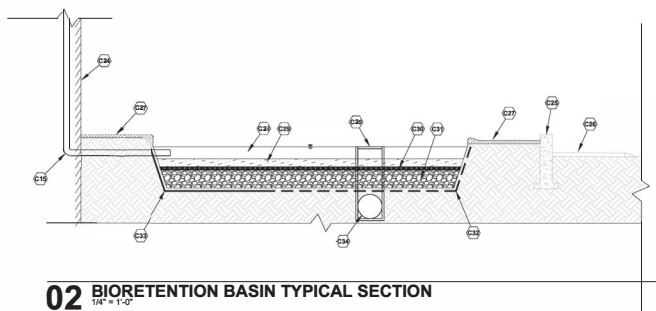
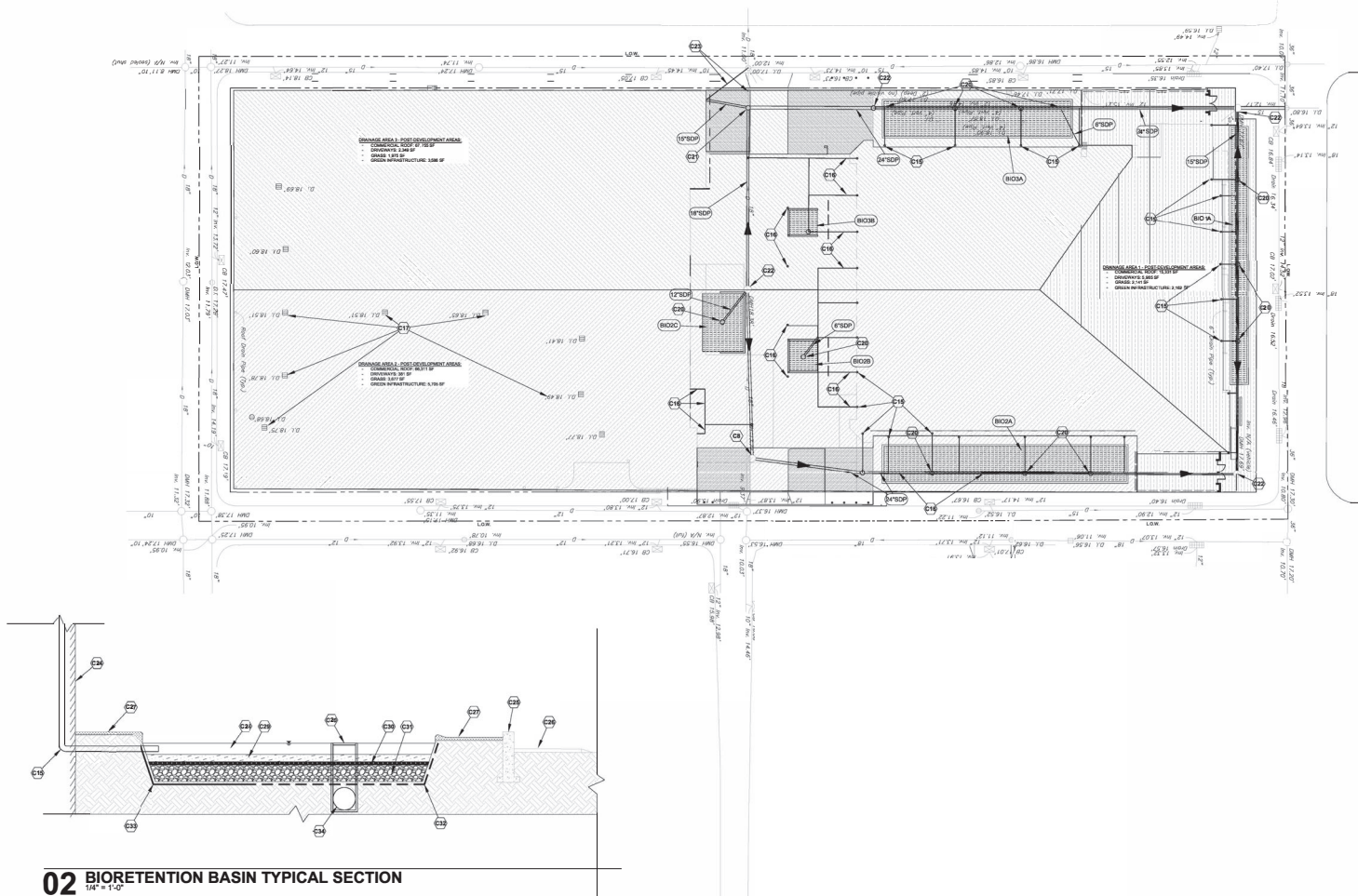
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REVISIONS

PRELIMINARY CIVIL SITE PLAN

DRAWN BY | FRENCH

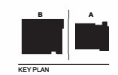
CPC03



Drainage Area	1	2	3
Bioretention/Bioswale/Planter	Bio1A	Bio2A	Bio3A
Length (ft)	172.25	20.33	38.50
Width (ft)	26.00	18.82	27.32
Side Slope Ratio (X:1)	3	3	3
Area (sf)	2167.48	4261.83	382.46
Contributing Drainage Area (sf)	19639.00	70572.91	382.46
Ponding Depth (in)	12	12	12
Bioretention Soil Depth (in)	8	8	8
Bioretention Soil Void Space	0.3	0.3	0.3
Bridging Stone Layer Depth (in)	3	3	3
Bridging Stone Void Space	0.35	0.35	0.35
Aggregate Layer Depth (in)	18	18	18
Aggregate Layer Void Space	0.3	0.3	0.3
Subsurface Storage Volume (cf)	1598.52	3343.10	282.06
Surface Storage Volume (cf)	1621.98	3701.08	274.03
Total Storage Volume (cf)	3220.50	6844.19	556.09
Total Bioretention Storage Volume (cf)	3220.50	9056.95	5541.51

EskewDumezRipple
365 CANAL STREET, SUITE 3150
NEW ORLEANS, LOUISIANA 70130
Design Engineering, Inc.
3330 WEST ESPLANADE AVE S, STE.205
METairie, LOUISIANA 70002

- STORMWATER NOTES:**
1. PRE-DEVELOPMENT AREAS:
 - ROOF - 142,800 SF
 - DRIVEWAY - 15,100 SF
 - GRADES - 4,300 SF
 2. POST-DEVELOPMENT AREAS:
 - ROOF - 148,500 SF
 - DRIVEWAY - 11,400 SF
 - GRADES - 11,500 SF
 - GREEN INFRASTRUCTURE 8,700 SF
 3. REQUIRED STORMWATER BMP VOLUME TO DETAIN FIRST 1.22 INCHES OF RAINFALL PER CMO STORMWATER CODE: 14,800 CF
 4. BIORETENTION BASINS (RAINGARDENS):
 - 18" THICK AGGREGATE BASE LAYER (ASHTO NO. 57)
 - AGGREGATE W/ FILTER FABRIC
 - 8" THICK FILTER STONE LAYER (ASHTO NO. 8 AGGREGATE)
 - 12" PONDING DEPTH
 - TOTAL VOLUME - 17,800 CF
 5. DESIGN AND CONSTRUCTION: INVERTS AND PIPE DIMENSIONS TO BE DETERMINED
- C5 CATCH BASIN TOP TO BE REPLACED WITH ROLL-OVER BASIN TOP
C6 ADJUST EXISTING MANHOLE TOP FLUSH WITH NEW PAVEMENT;
C18 EXISTING DRAIN INLET TO REMAIN
C15 EXISTING ROOF DRAIN PIPES (REFER TO PLUMBING, FIELD
C16 EXISTING STORM DRAIN PIPE (REFER TO PLUMBING, FIELD
C17 REMOVE EXISTING DRAINAGE STRUCTURES IN BUILDING 8 SLAB
REFER TO PLUMBING
C20 OVERFLOW DRAIN INLET
C21 MANHOLE (ASHTO 18")
C22 EXISTING MANHOLE TO REMAIN; ADJUST INVERTS FOR
PROPOSED DRAINAGE
C23 BENTON CHAIN LINE
C24 EXISTING BUILDING
C25 REMOVE & REPLACE CONCRETE RETAINING WALL
C26 REMOVE & REPLACE CONCRETE SIDEWALK (PER CMO DPW MCI)
C27 GRADES
C28 WATER (12" PONDING DEPTH)
C29 BIORETENTION SOIL LAYER (8" THICK)
C30 BRIDGING STONE LAYER (12" THICK, ASHTO NO. 8 AGGREGATE)
C31 AGGREGATE LAYER (12" THICK, ASHTO NO. 57 AGGREGATE)
C32 GEOTEXTILE FABRIC
C33 PLASTIC LINER (20 MIL THICK)
C34 STORM DRAIN PIPE, OUT TO CMO DRAINAGE SYSTEM



SJD

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New Orleans, LA, 70125

FOR PROJECT NO. | 19058

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LICENSEE: B.A. FRENCH
LICENSE NO.: 41118
DESIGN ENGINEERING, INC.

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PRELIMINARY - NOT FOR CONSTRUCTION

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REVISIONS



PRELIMINARY STORMWATER MANAGEMENT PLAN

CLARIFICATION OF SYMBOLS
LOW LIMIT OF WORK

GENERAL NOTES
1. NO EXISTING TREES WITHIN EXISTING LOW.



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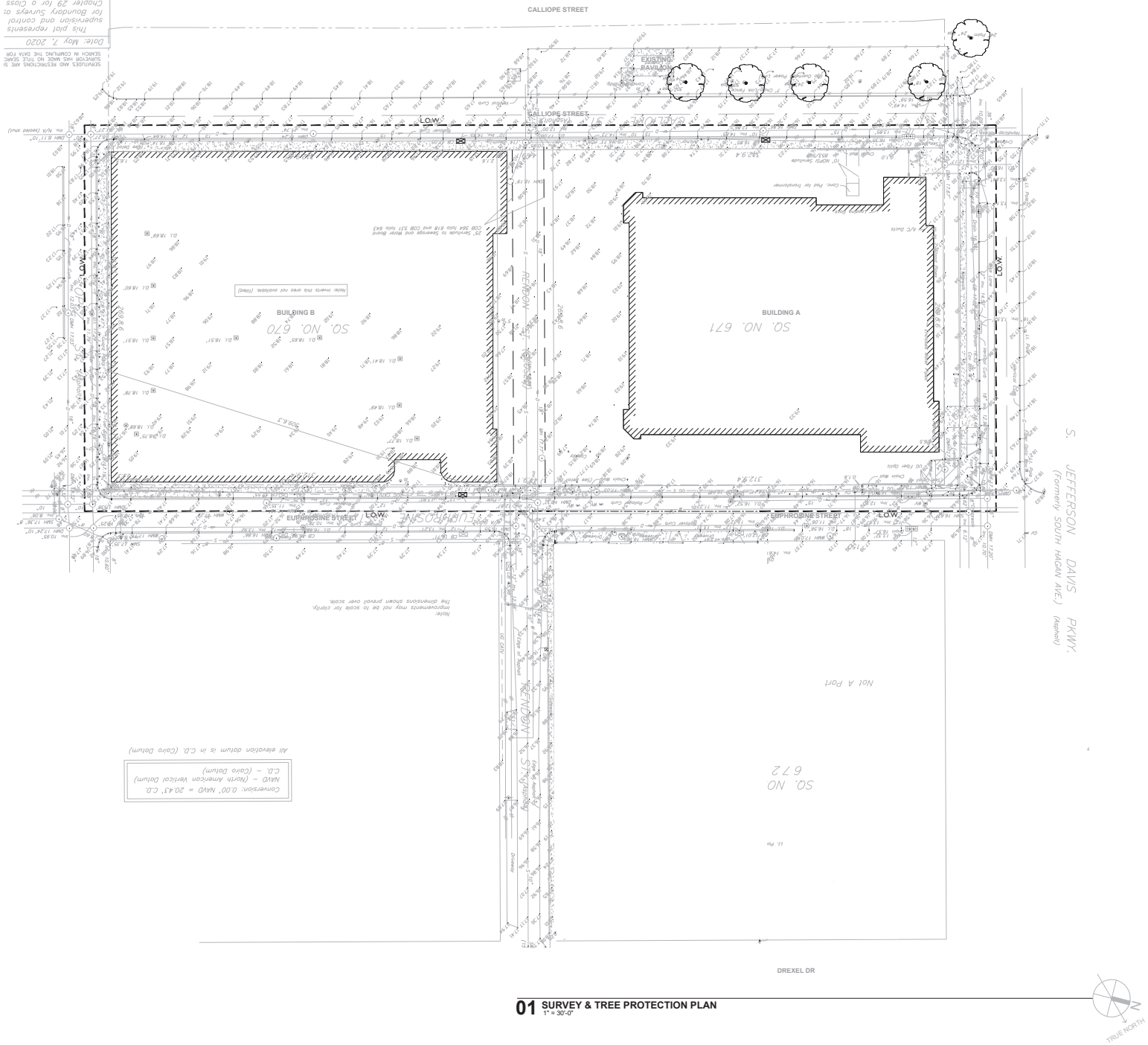
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REVISIONS

SURVEY & TREE PROTECTION PLAN

DRAWN BY | PORTER **CPC05**

152619
Gilbert, Kelly & Couture
2121 N. Causeway Blvd.
This plot represents
supervision and control
for Boundary Surveys as
Chapter 29 for a Class
Made at the request of
Date: May 7, 2020
REVISIONS AND RESTRICTIONS ARE TO
BE SHOWN IN RED INK. NO FIELD
WORK IS TO BE DONE ON THIS
DRAWING WITHOUT THE DATA FOR
DATE: May 7, 2020



EskewDumezRipple

365 CANAL STREET, SUITE 3150
NEW ORLEANS, LOUISIANA 70130

spackman mossop michels
1824 SOPHIE WRIGHT PLACE
NEW ORLEANS, LOUISIANA 70130

CLARIFICATION OF SYMBOLS

- L.O.W.** LIMIT OF WORK
● EXISTING TREE
○ PROPOSED TREE
① PAVEMENT TYPE 1
② PAVEMENT TYPE 2

GENERAL NOTES

1. SEE L4.4 FOR PLANT SCHEDULE.

0 15 30 60
Scale: 1"=30'-0"

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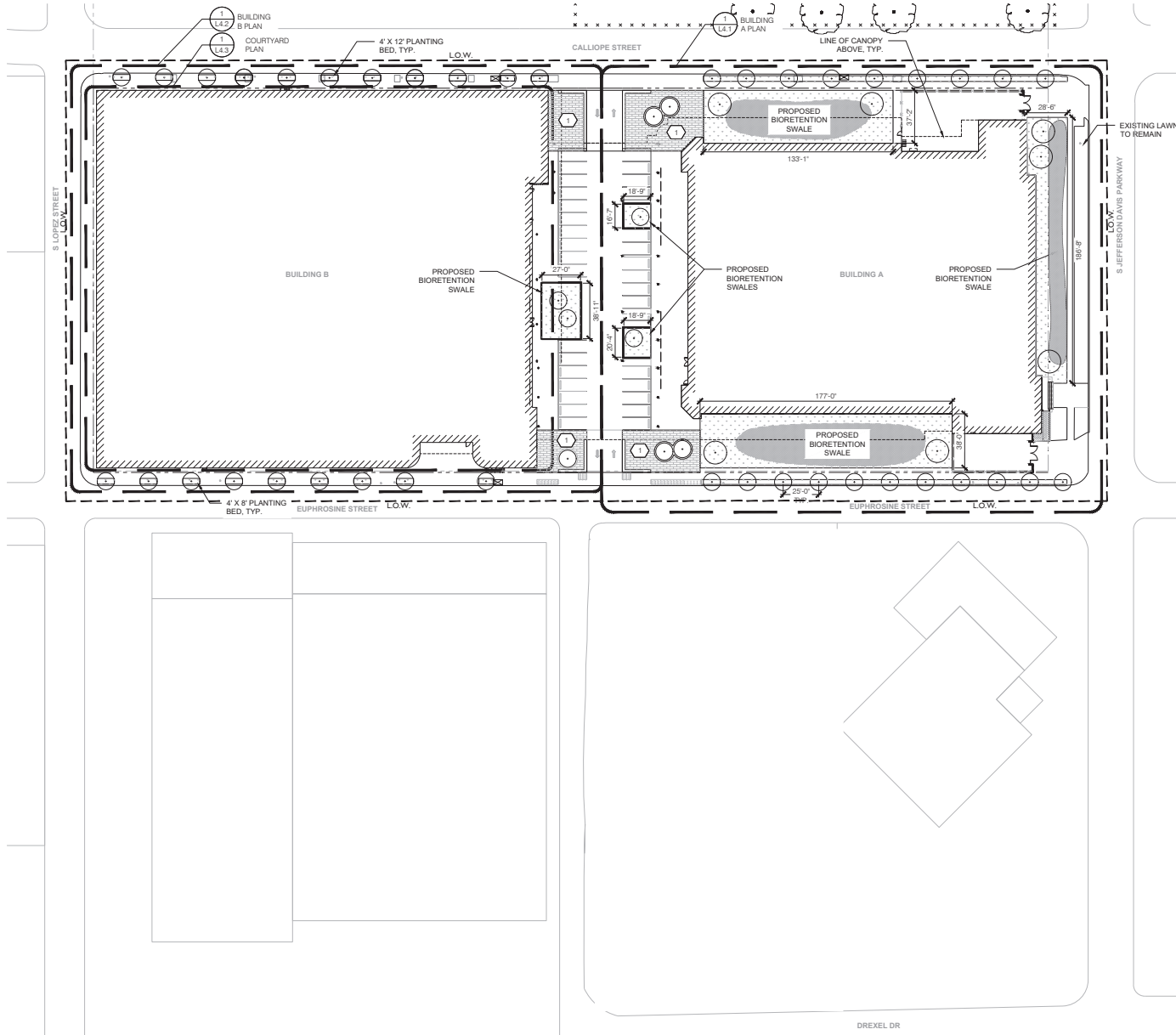
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REVISIONS

OVERALL LANDSCAPE PLAN

DRAWN BY | PORTER

CPC06



01 OVERALL LANDSCAPE PLAN

1"=30'-0"



EskewDumezRipple

365 CANAL STREET, SUITE 3150

NEW ORLEANS, LOUISIANA 70130

spackman mossop michels

1824 SOPHIE WRIGHT PLACE

NEW ORLEANS, LOUISIANA 70130

CLARIFICATION OF SYMBOLS

LO W: LIMIT OF WORK

EXISTING TREE

PROPOSED TREE

GENERAL NOTES

1. SEE L4.4 FOR PLANT SCHEDULE.

BUILDING B

4' X 12' PLANTING BED, TYP.

PROPOSED
BIORETENTION
SWALE



SJD

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REVISIONS

PLANTING PLAN B

DRAWN BY | PORTER

CPC08

01 PLANTING PLAN B
3/32" = 1'-0"

CLARIFICATION OF SYMBOLS

LOW LIMIT OF WORK

GENERAL NOTES

1. SEE L4.4 FOR PLANT SCHEDULE.

0 15 30 60
Scale: 3/32" = 1'-0"

SJD

1050 S. Jefferson Davis Parkway
New Orleans, LA 70125

EDR PROJECT NO. | 19058

PROJECT ISSUE DATE | 30 JUNE 2020

CPC SET

NOT FOR CONSTRUCTION

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A Professional Corporation

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REVISIONS

**PLANTING PLAN C -
BUILDING B COURTYARDS**

DRAWN BY | PORTER

CPC09

01 PLANTING PLAN C - BUILDING B COURTYARDS
3/32" = 1'-0"

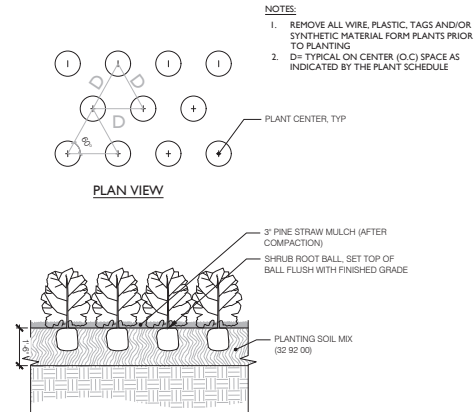


PLANT SCHEDULE (32 93 00)						
TREES						
SYMBOL	COMMON NAME	BOTANICAL NAME	QTY	SIZE		NOTES
	SAUCER MAGNOLIA	Magnolia x soulangeana	5	10'-12' TALL	REF PLAN	MULTISTEM, 2-4 TRUNKS
	SWEETBAY MAGNOLIA	Magnolia virginiana	46	3" CAL	REF PLAN	
	BALD CYPRESS	Taxodium distichum	7	3" CAL	REF PLAN	

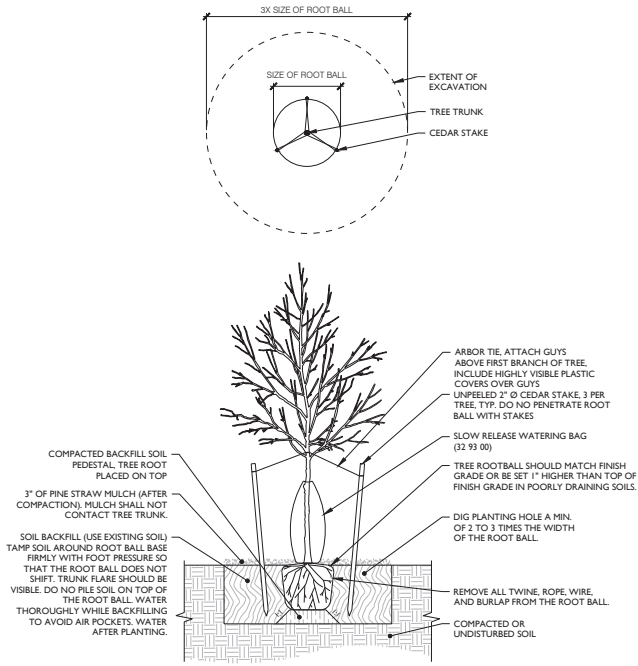
PLANT SCHEDULE (32 93 00)						
SHRUBS AND GROUNDCOVER						
SYMBOL	COMMON NAME	BOTANICAL NAME	QTY	SIZE		NOTES
	RAINGARDEN PLANTING MIX		8,000 SF			
	TROPICAL PLANTING MIX		4,500 SF			
	LAWN - SOD		12,500 SF			
	3" PINE STRAW MULCH					ALL PLANT BEDS AND 3' RADIUS AROUND ALL TREES

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REVISIONS



02 SHRUB PLANTING, TYP.
1/2" = 1'-0"



01 TREE PLANTING, TYP.
1/2" = 1'-0"

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REVISIONS

PLANTING DETAILS

DRAWN BY | PORTER

CPC11

EskewDumezRipple

365 CANAL STREET, SUITE 3150
NEW ORLEANS, LOUISIANA 70130

spackman mossop micheels
1824 SOPHIE WRIGHT PLACE
NEW ORLEANS, LOUISIANA 70130

CLARIFICATION OF SYMBOLS

L.O.W. LIMIT OF WORK
IRRIGATED AREA

GENERAL NOTES

- ALL AREAS IDENTIFIED SHALL BE FULLY IRRIGATED (32 84 00).

0 15 30 60
Scale: 1"=30'-0"

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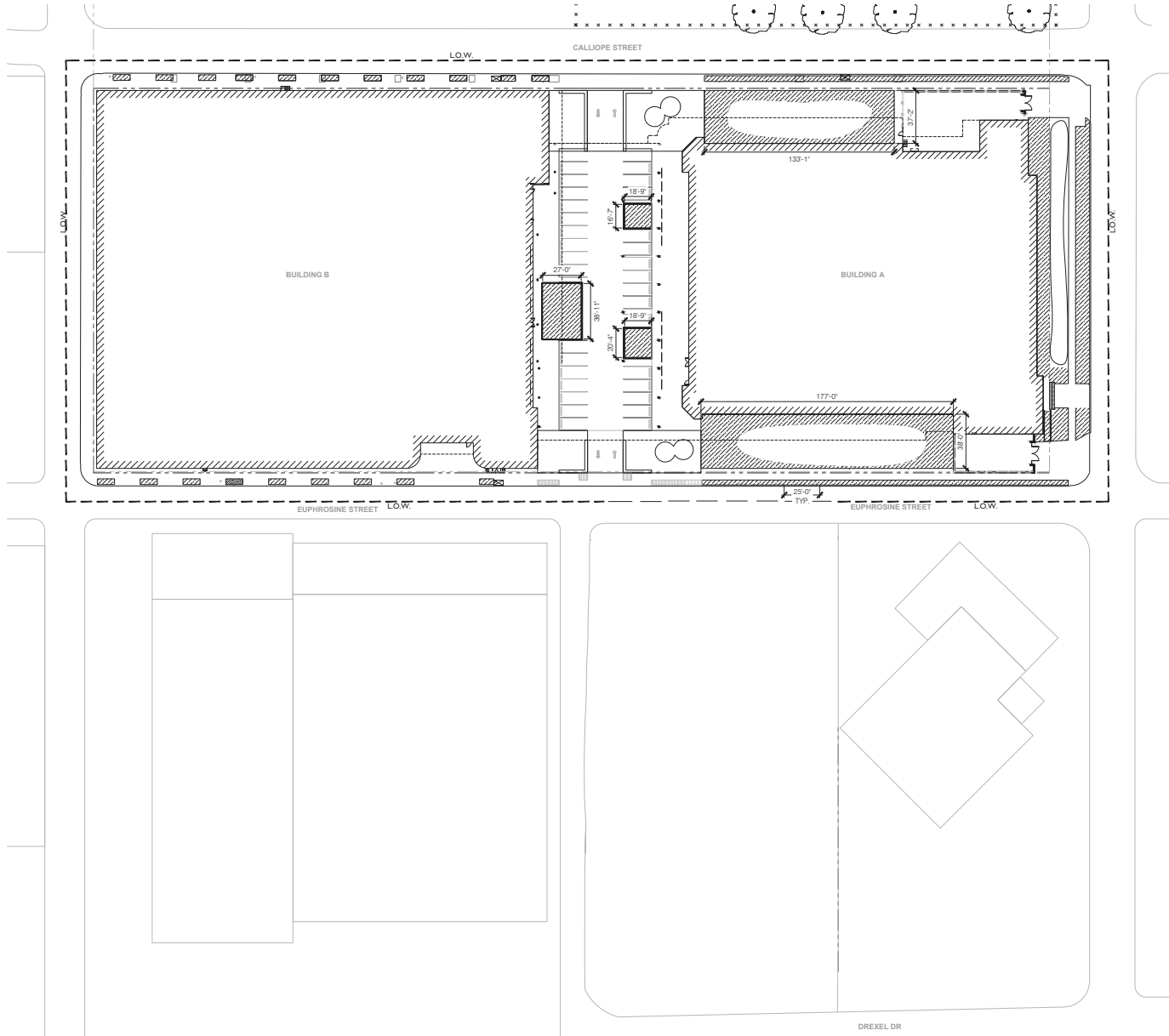
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REVISIONS

IRRIGATION PLAN - SITE

DRAWN BY | PORTER

CPC12



01 IRRIGATION PLAN - SITE

1"=30'-0"



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365 CANAL STREET, SUITE 3150
NEW ORLEANS, LOUISIANA 70130

spackman mossop micheels
1824 SOPHIE WRIGHT PLACE
NEW ORLEANS, LOUISIANA 70130

CLARIFICATION OF SYMBOLS

LO W LIMIT OF WORK

IRRIGATED AREA

GENERAL NOTES

1. ALL AREAS IDENTIFIED SHALL BE FULLY IRRIGATED (32 84 00).

PLANTING
POT, TYP.

0 15 30 60
Scale: 3/32" = 1'-0"

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REVISIONS

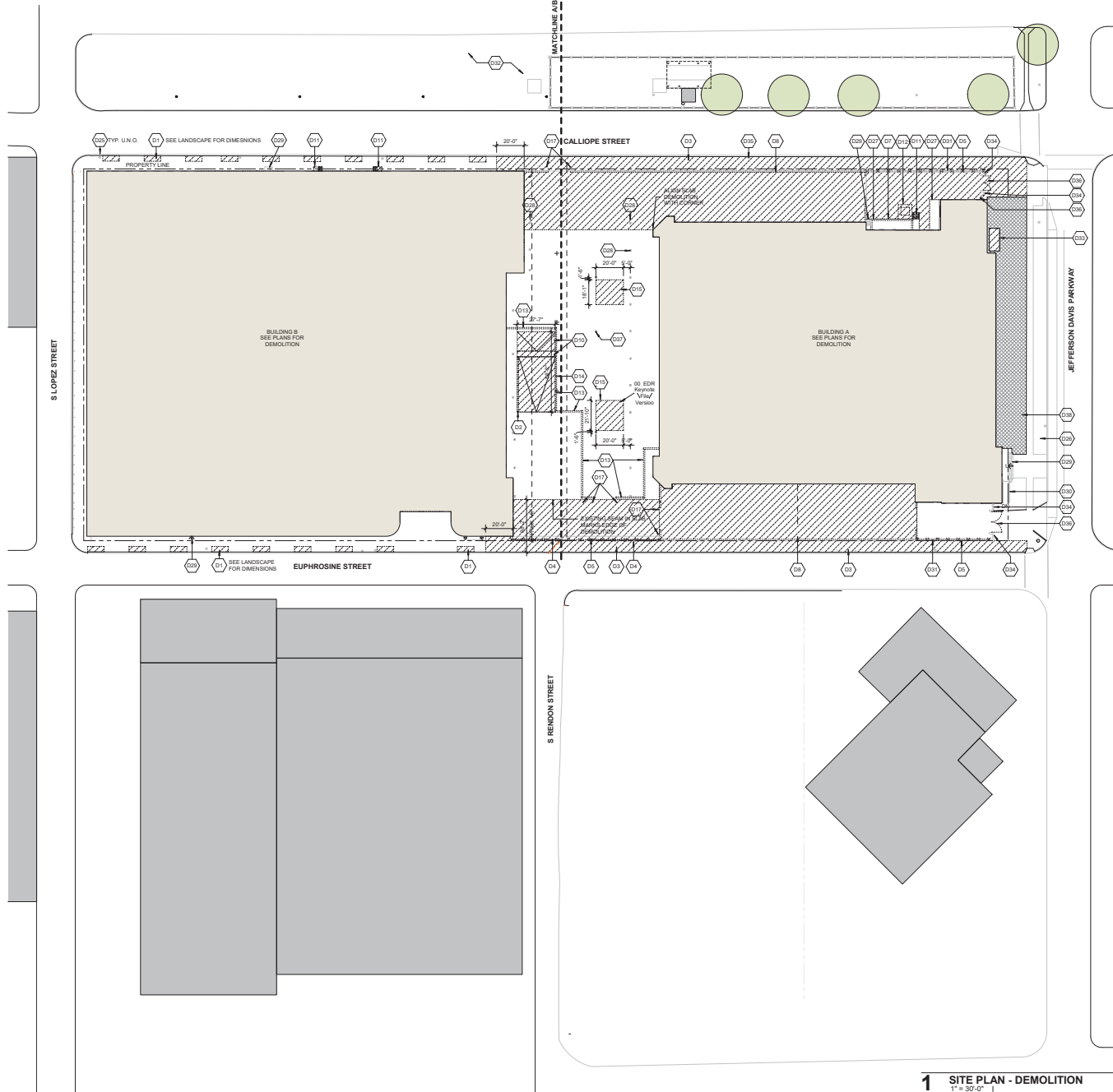
**IRRIGATION PLAN -
BUILDING B COURTYARDS**

DRAWN BY | PORTER

CPC13

01 IRRIGATION PLAN - BUILDING B COURTYARDS
3/32" = 1'-0"





1 SITE PLAN - DEMOLITION
1"=30'-0"

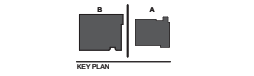


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365 CANAL STREET, SUITE 3150
NEW ORLEANS, LOUISIANA 70130

CLARIFICATION OF SITE DEMOLITION GRAPHICS	
	EXISTING SITE ELEMENT FIXTURES, UTILITIES ETC. TO REMAIN
	EXISTING SITE ELEMENT FIXTURES, UTILITIES ETC. TO BE REMOVED
	AREA OF EXISTING SEWER/PAV OR CONCRETE SLAB TO BE REMOVED
	AREA OF EXISTING LANDSCAPING TO BE REMOVED

CLARIFICATION OF REFERENCE DESIGNATIONS	
00 EDR 7-0-0308/0019-DLG	
Revision	
D1	SAWCUT AND REMOVE PORTIONS OF EXISTING PAVING AS DRAWN
D2	REMOVE EXISTING CURB
D3	REMOVE EXISTING PAVING
D4	REMOVE EXISTING CHAIN WALL
D5	REMOVE EXISTING CHAIN LINK FENCE
D7	REMOVE WALLS
D8	DEMOLISH SLAB, WALLS, ROOF, AND ALL ASSOCIATED STRUCTURE OF WAREHOUSE ADDITION
D10	REMOVE RAMP, ORIGINAL SLAB BELOW TO REMAIN
D11	REMOVE STAIR
D12	REMOVE TRANSFORMER AND CONCRETE PAD
D13	DEMOLISH WALLS AND DOORS, SLAB, COLUMNS, ROOF STRUCTURE, AND ROOF DECKING TO REMAIN
D14	REMOVE SLAB AT CONCRETE LOADING RAMP
D15	SAWCUT AND REMOVE PORTIONS OF EXISTING SLAB AS DRAWN
D16	REMOVE WHEEL STOPS AND RETAIN FOR FUTURE USE
D17	REMOVE EXISTING BOLLARD
D25	EXISTING CURBS TO REMAIN
D27	EXISTING LANDSCAPING TO REMAIN
D28	EXISTING LOADING DOCK TO REMAIN
D29	EXISTING COLUMNS TO REMAIN
D30	EXISTING STEPS TO REMAIN
D30	EXISTING RAMP TO REMAIN
D31	EXISTING CHAIN WALL TO REMAIN
D32	NEUTRAL GROUND NOT IN SCOPE
D33	REMOVE EXISTING MECHANICAL EQUIPMENT AND ASSOCIATED PAD AND SUPPORTS
D34	EXISTING PLASTER TO REMAIN
D35	EXISTING UTILITY POLES TO REMAIN U.N.O.
D36	REMOVE EXISTING GATE
D37	EXISTING ROOF DOWNPOUTS TO REMAIN U.N.O.
D38	REMOVE EXISTING LANDSCAPING AND PREP FOR FUTURE LANDSCAPING



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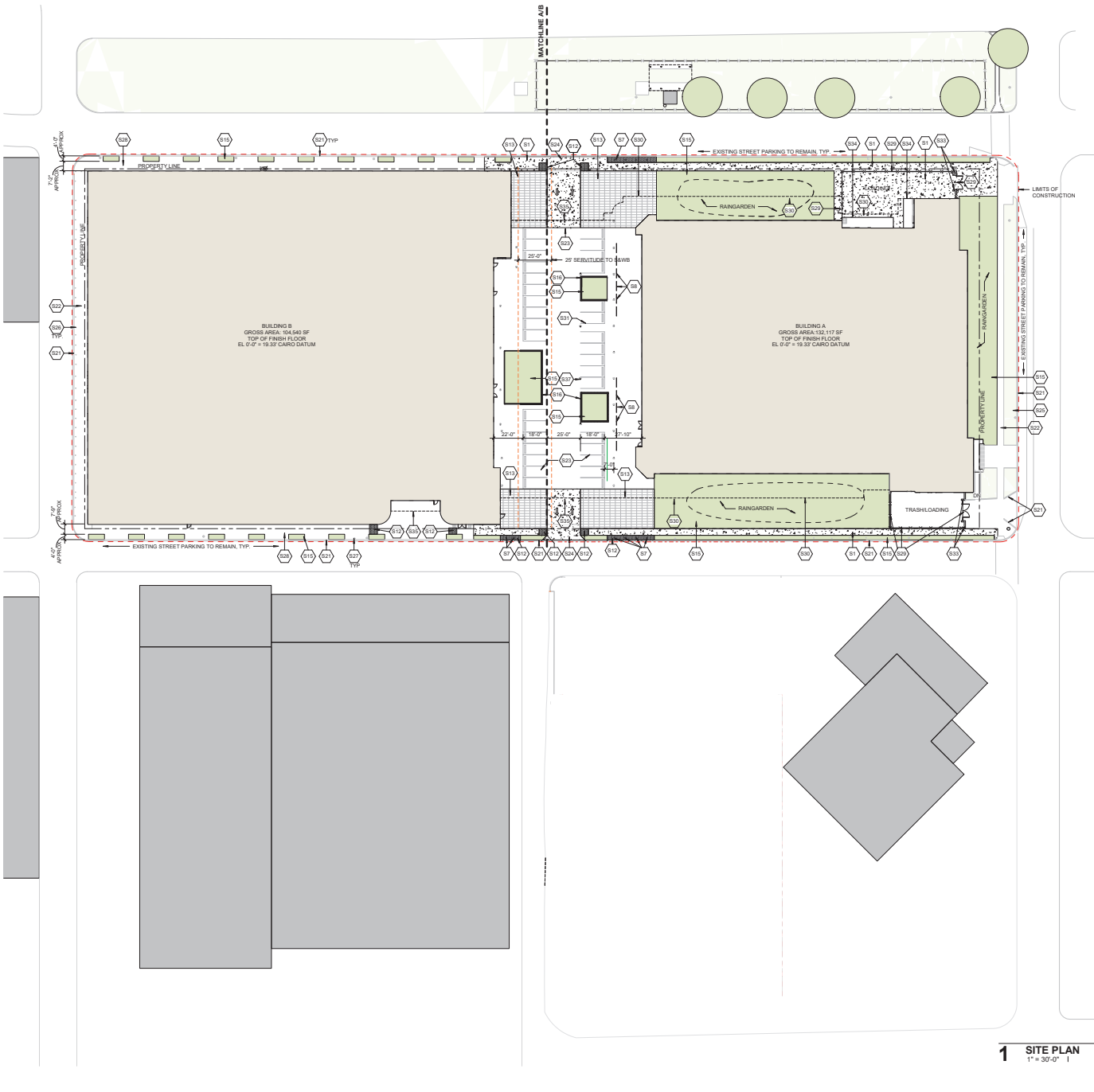
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REVISIONS



GENERAL NOTES

1. THIS SURVEY WAS FURNISHED BY THE OWNER FOR USE ON THIS PROJECT AND WAS NOT PREPARED BY THE ARCHITECT WHO IS THEREFORE NOT RESPONSIBLE FOR ITS CONTENT.
2. WHERE NEW PAVING MEETS EXISTING PAVING, SURFACES SHOULD BE FLUSH WITH A MAXIMUM HEIGHT DIFFERENCE OF 1/4".

CLARIFICATION OF REFERENCE DESIGNATIONS

- S1 NEW CONCRETE PAVING (0275)
- S7 S.S. BOLLARD (0500)
- S8 BICYCLE RACKS (0370)
- S12 DETECTABLE WARNING SURFACE
- S13 PAVING, SEE LANDSCAPE
- S15 NEW LANDSCAPING (0200)
- S16 NEW STOREFRONT ON CONCRETE CURB
- S21 EXISTING CURB TO REMAIN
- S22 EXISTING SIDEWALK TO REMAIN
- S23 EXISTING CURB TO REMAIN
- S24 REFER TO CIVIL FOR DRIVEWAY CURB AND CURB CUTS
- S25 EXISTING LANDSCAPING TO REMAIN
- S26 EXISTING BOLLARDS TO REMAIN
- S27 EXISTING UTILITY POLE TO REMAIN
- S28 EXISTING SIDEWALK TO BE PATCHED AND REPAIRED TO ACCOMMODATE NEW DESIGN
- S29 NEW FENCE AND GATE
- S30 EDGE OF NEW CANOPY ABOVE
- S31 NEW PARKING STRIPING, SEE CIVIL FOR DIMENSIONS
- S33 EXISTING PLASTER TO REMAIN
- S34 EXISTING LOADING DOCK TO REMAIN
- S35 EDGE OF EXISTING ROOF
- S36 FLOOR EDGE DETECTION
- S37 EXISTING ROOF DOWNSPUTS TO REMAIN U.N.O.
- S39 EXISTING FENCE TO REMAIN



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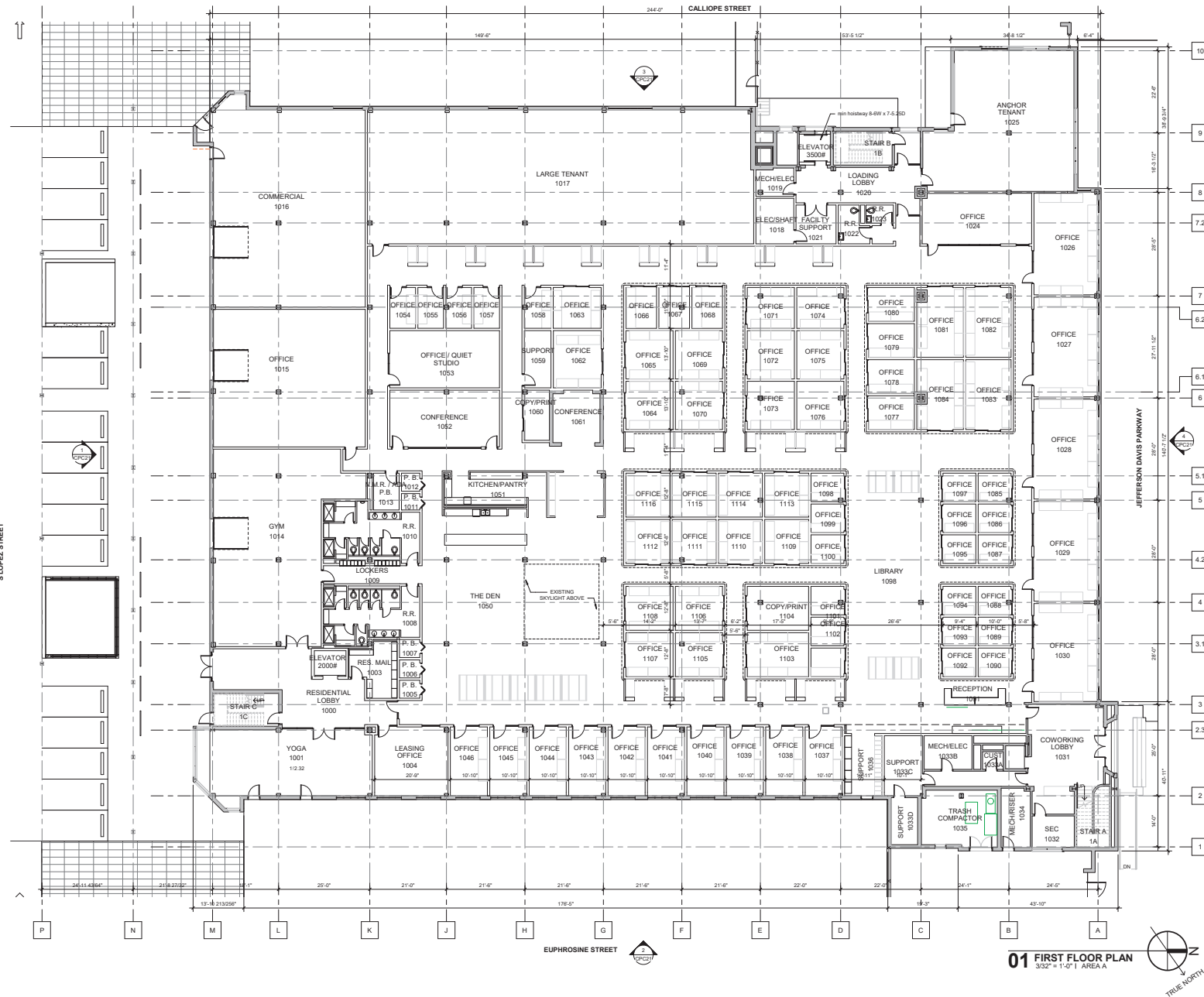
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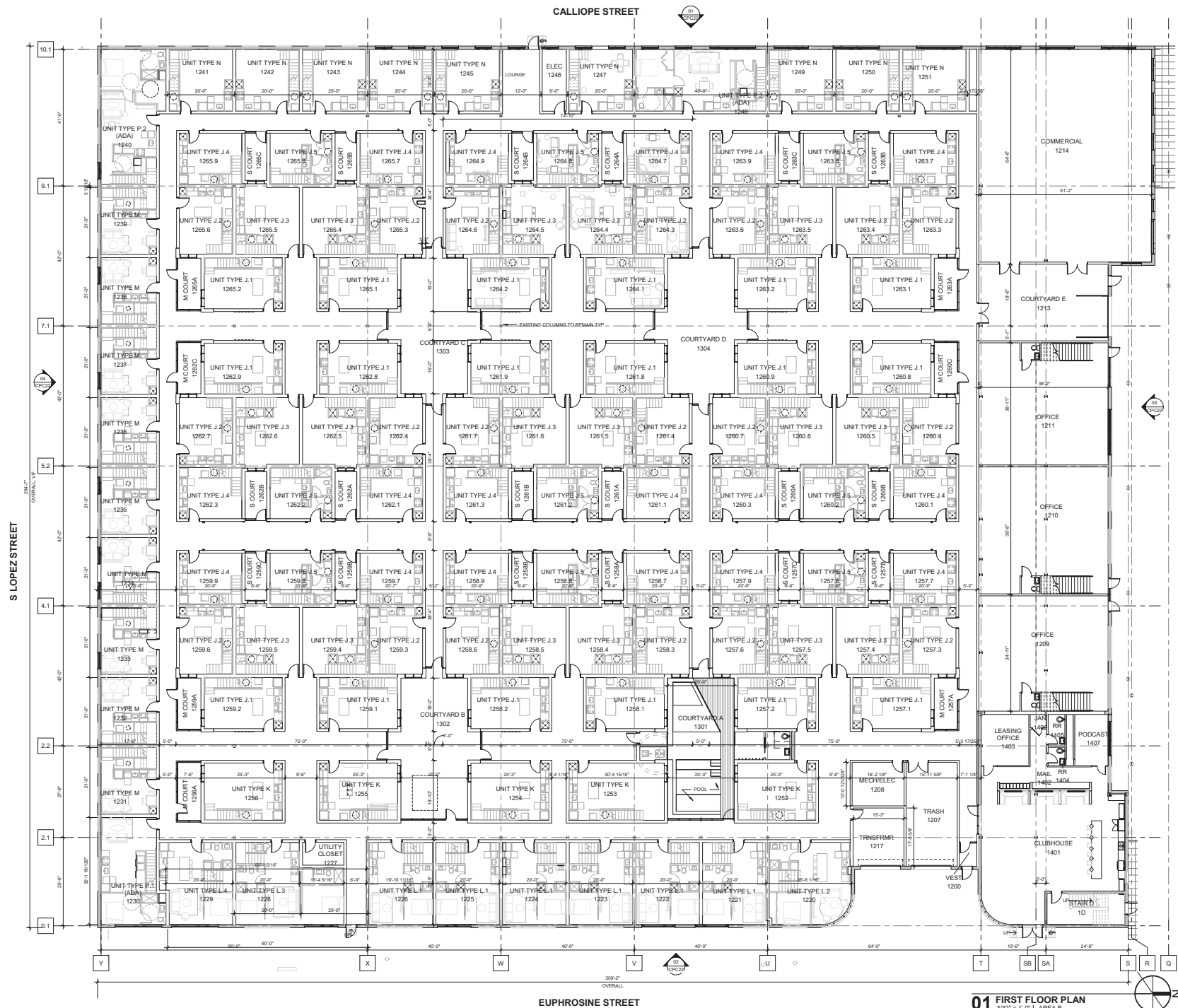
REVISIONS

SITE PLAN

DRAWN BY | NGUYEN

CPC15





01 FIRST FLOOR PLAN

3/32 = 1-0 | AREA B

RENOVATION GRAPHICS
(UNLESS OTHERWISE INDICATED)

EXISTING WALLS, PARTITIONS, COLUMNS
TO REMAIN



EXISTING FIXTURES, EQUIPMENT TO REMAIN



NEW WALLS, PARTITIONS, COLUMNS



NEW FIXTURES, EQUIPMENT

EXISTING WALLS, PARTITIONS, COLUMNS
TO BE REMOVED



EXISTING FIXTURES, EQUIPMENT, ETC. TO BE REMOVED



EXISTING FIXTURES, EQUIPMENT, ETC.
TO BE REMOVED AND REINSTALLED



EXISTING FIXTURES, EQUIPMENT, ETC.
REINSTALLED FROM ITS PREVIOUS LOCATION



KEY PLAY

SJD

1050 S Jefferson Davis Parkway
New Orleans, LA, 70125

EDR PROJECT NO. | 19058

PROJECT ISSUE DATE | 30-JUL-2015

11/15/2023 10:00 AM | 06/06/2023

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REVISIONS

FIRST FLOOR PLAN - AREA B

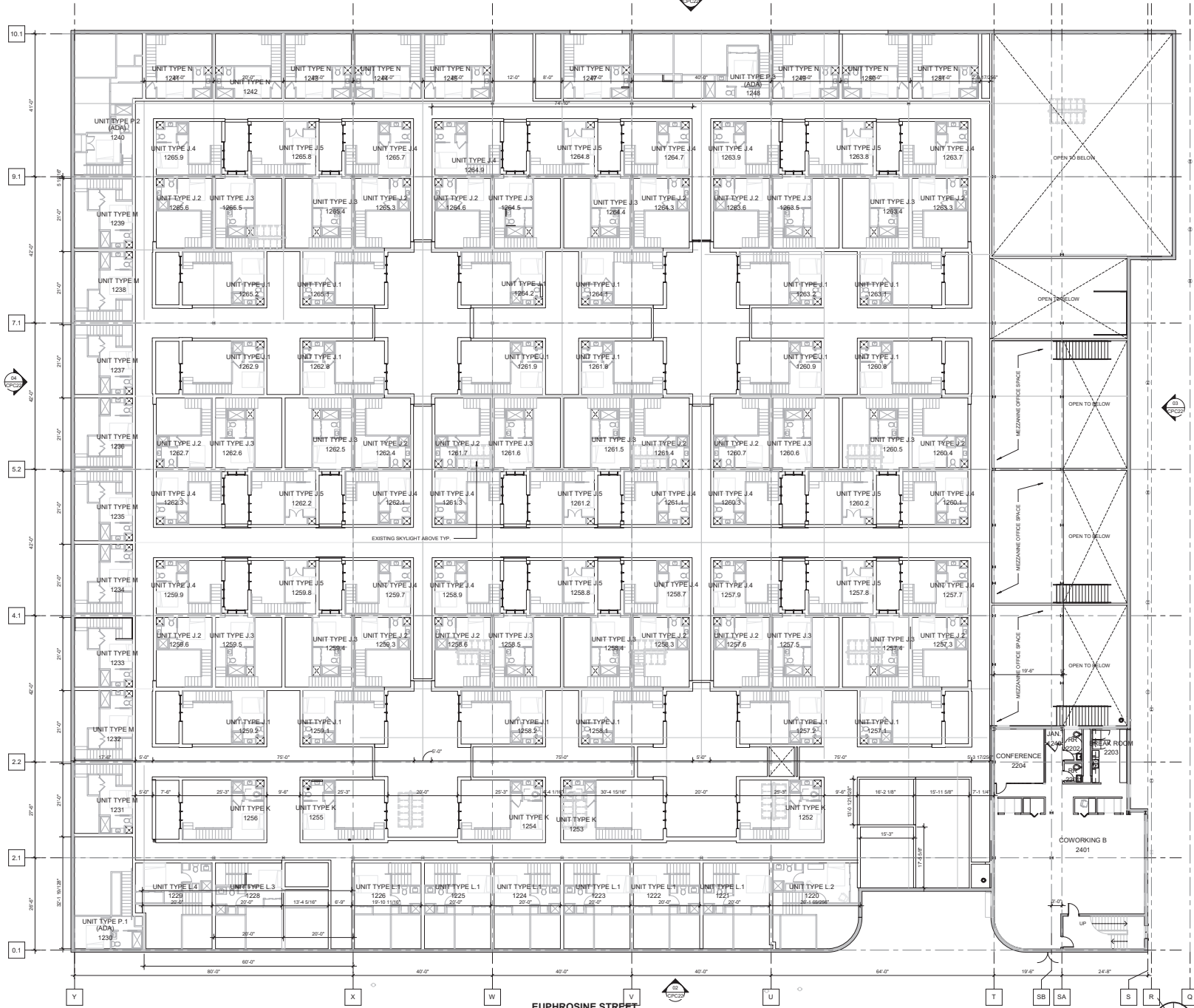
DRAWN BY | KATZ

CPC17

S LOPEZ STREET

CALLOPE STREET

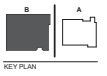
EUPHROSINE STREET



EskewDumezRipple
365 CANAL STREET, SUITE 3150
NEW ORLEANS, LOUISIANA 70130

**RENOVATION GRAPHICS
(UNLESS OTHERWISE INDICATED)**

- EXISTING WALLS, PARTITIONS, COLUMNS TO REMAIN
- EXISTING FIXTURES, EQUIPMENT TO REMAIN
- NEW WALLS, PARTITIONS, COLUMNS
- NEW FIXTURES, EQUIPMENT
- EXISTING WALLS, PARTITIONS, COLUMNS TO BE REMOVED
- EXISTING FIXTURES, EQUIPMENT, ETC. TO BE REMOVED
- EXISTING FIXTURES, EQUIPMENT, ETC. TO BE REMOVED AND REINSTALLED
- EXISTING FIXTURES, EQUIPMENT, ETC. REINSTALLED FROM ITS PREVIOUS LOCATION



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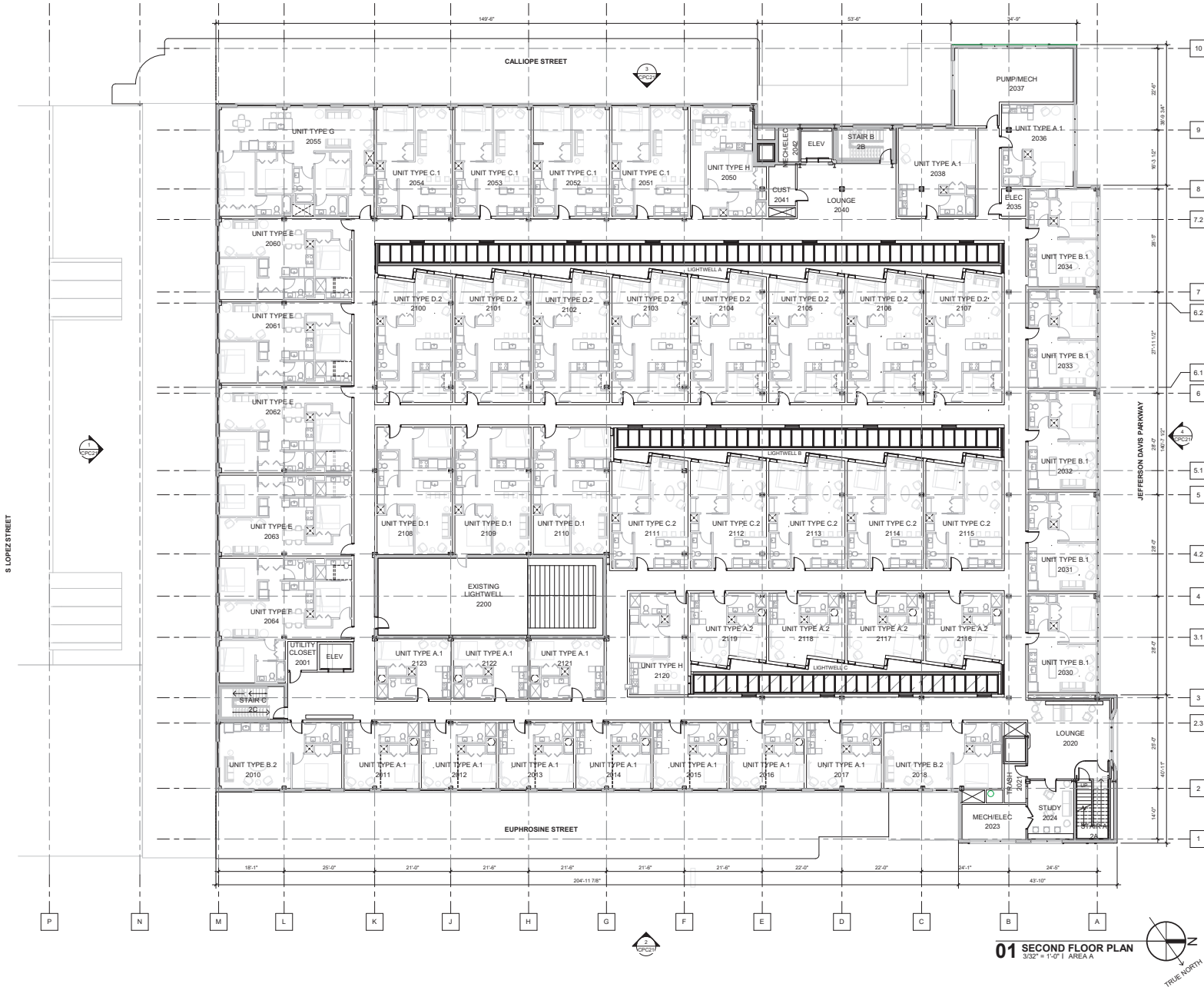
REVISIONS

FIRST FLOOR PLAN - MEZZANINE - AREA B

01 FIRST FLOOR PLAN - MEZZANINE
3/32" = 1'-0" | AREA B

DRAWN BY | KATZ

CPC18



**RENOVATION GRAPHICS
(UNLESS OTHERWISE INDICATED)**

- EXISTING WALLS, PARTITIONS, COLUMNS
TO REMAIN
- EXISTING FIXTURES, EQUIPMENT TO REMAIN
- NEW WALLS, PARTITIONS, COLUMNS
- NEW FIXTURES, EQUIPMENT
- EXISTING WALLS, PARTITIONS, COLUMNS
TO BE REMOVED
- EXISTING FIXTURES, EQUIPMENT, ETC. TO BE REMOVED
- EXISTING FIXTURES, EQUIPMENT, ETC.
TO BE REMOVED AND REINSTALLED
- EXISTING FIXTURES, EQUIPMENT, ETC.
REINSTALLED FROM ITS PREVIOUS LOCATION



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REVISIONS

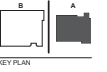
SECOND FLOOR PLAN - AREA A

BAUGHMAN,
DRAWN BY | ROCK

CPC19

**RENOVATION GRAPHICS
(UNLESS OTHERWISE INDICATED)**

- EXISTING WALLS, PARTITIONS, COLUMNS
TO REMAIN
- EXISTING FIXTURES, EQUIPMENT TO REMAIN
- NEW WALLS, PARTITIONS, COLUMNS
- NEW FIXTURES, EQUIPMENT
- EXISTING WALLS, PARTITIONS, COLUMNS
TO BE REMOVED
- EXISTING FIXTURES, EQUIPMENT, ETC. TO BE REMOVED
- EXISTING FIXTURES, EQUIPMENT, ETC.
TO BE REMOVED AND REINSTALLED
- EXISTING FIXTURES, EQUIPMENT, ETC.
REINSTALLED FROM ITS PREVIOUS LOCATION



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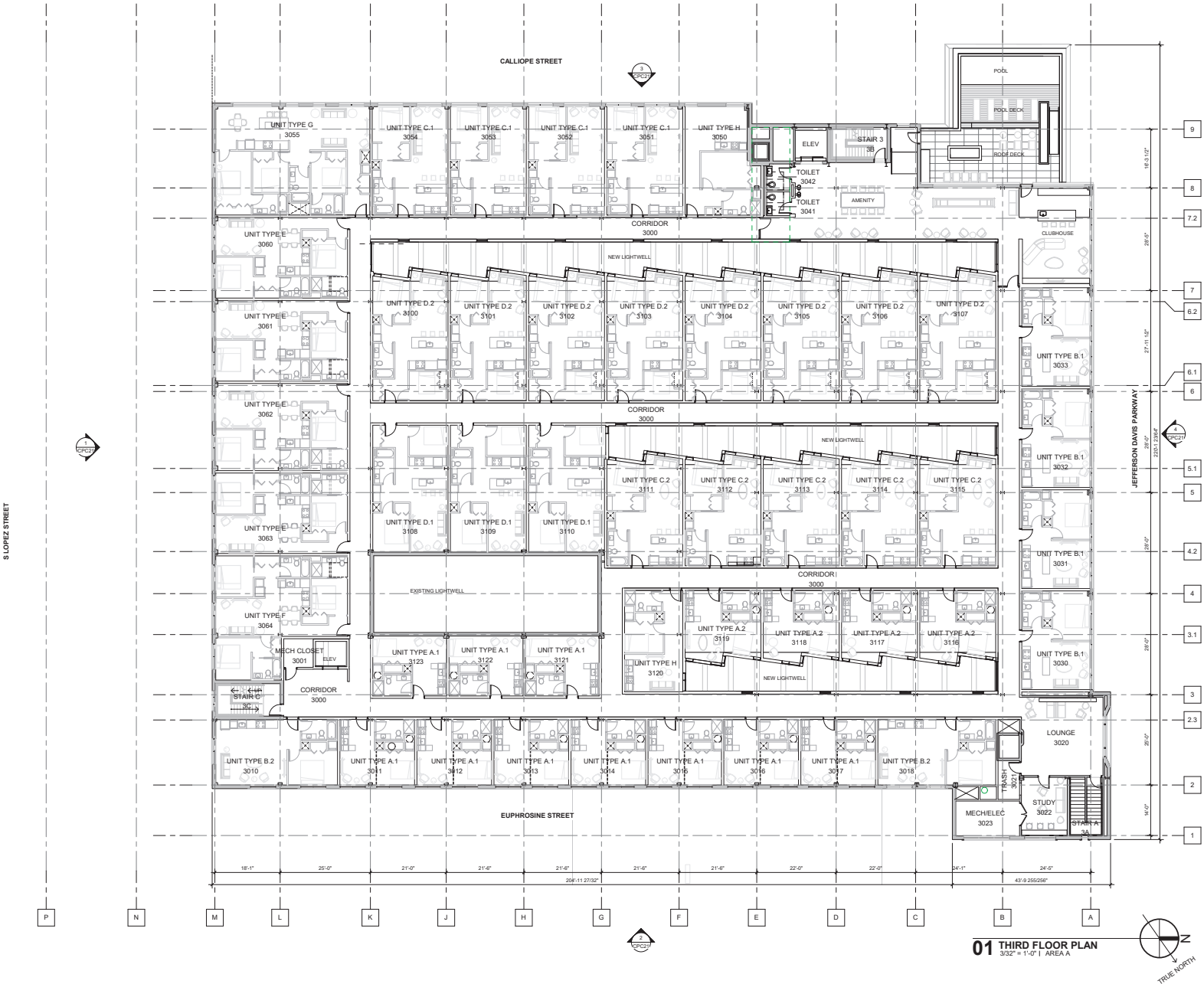
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REVISIONS

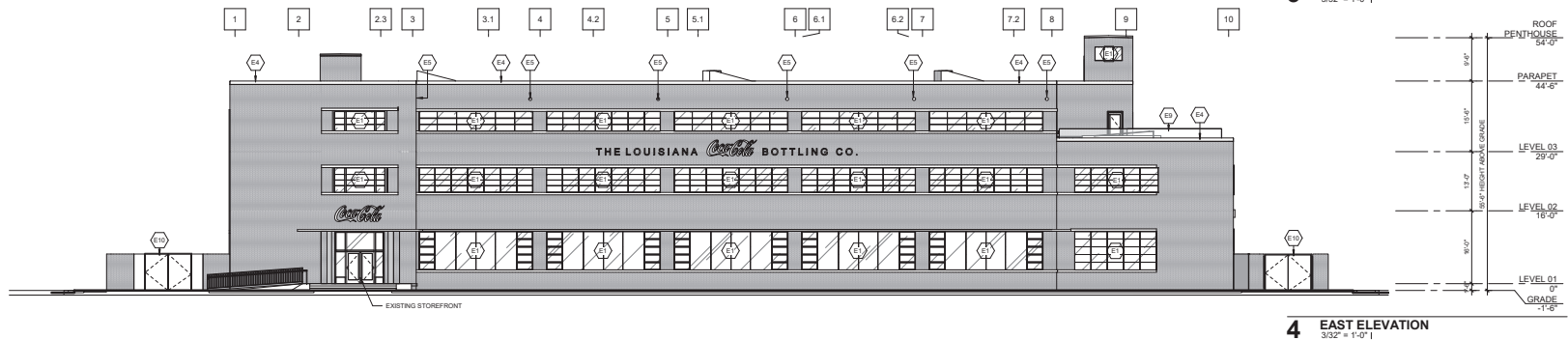
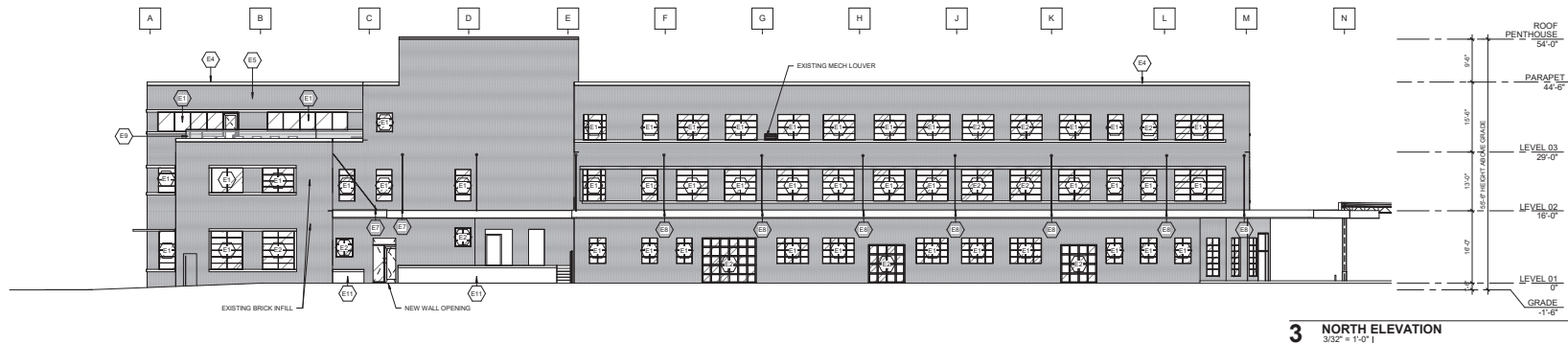
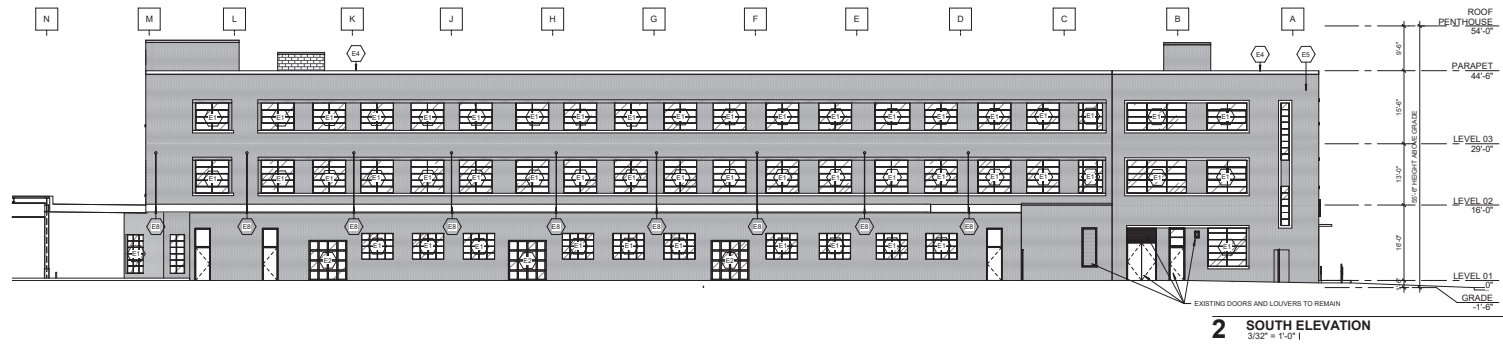
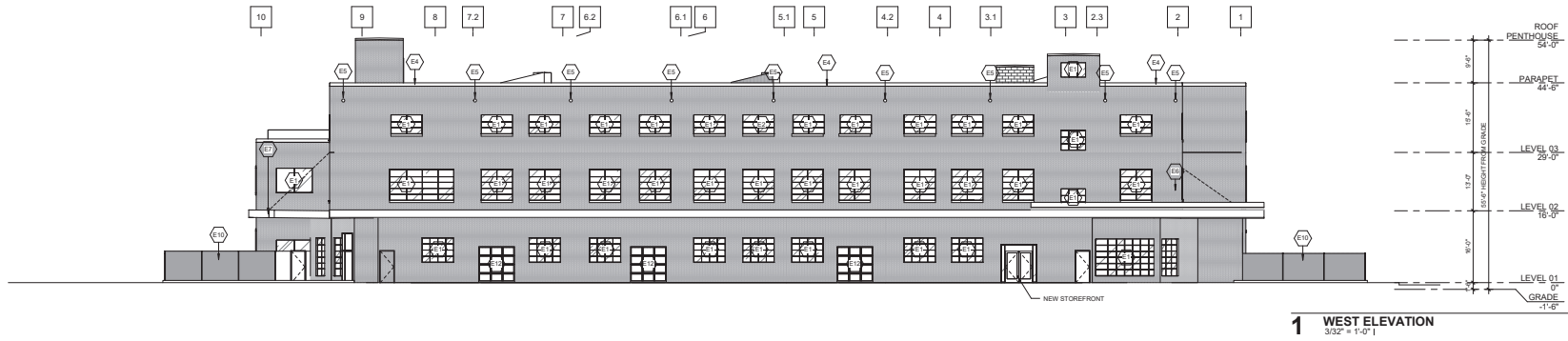
THIRD FLOOR PLAN - AREA A

BAUGHMAN,
DRAWN BY | ROCK

CPC20



01 THIRD FLOOR PLAN
332' x 1'-0" | AREA A

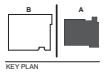


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365 CANAL STREET, SUITE 3150
NEW ORLEANS, LOUISIANA 70130

CLARIFICATION OF REFERENCE DESIGNATIONS

- E1 REFURBISH EXISTING STEEL FRAME WINDOWS
- E2 NEW REPLICA STEEL FRAME WINDOWS
- E4 REPAIR AND REPORT EXISTING TERRA COTTA / LIMESTONE COPING
- E5 REPAIR EXISTING SCUPPER
- E6 REPAIR MASONRY, REFER TO ENVELOPE REPORT
- E7 EXISTING ORIGINAL CANOPY AND THE ROOFS TO BE RESTORED
- E8 NEW CANOPY AND THE ROOFS TO MATCH EXISTING
- E9 NEW GLASS GUARDRAIL
- E10 NEW FENCE AND GATE
- E11 EXISTING LOADING DOCK AND STEPS TO REMAIN
- E12 NEW GLASS AND ALUMINUM OVERHEAD DOOR



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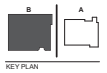
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REVISIONS

EXTERIOR ELEVATIONS - AREA A

BAUGHMAN,
DRAWN BY | ROKK

CPC21



CPC22